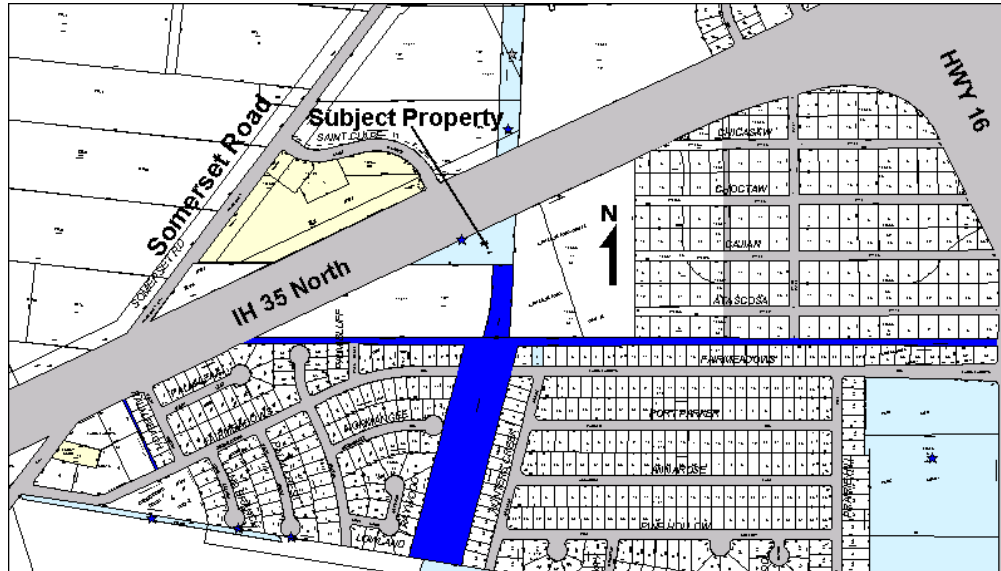


PUBLIC NOTICE

Invitation For Bids (IFB) Sale of Surplus Real Property

- A. The City of San Antonio is accepting sealed bids for the purchase of surplus City-owned real property described below which must be received by the City Clerk's Office, City Hall, 2nd Floor, 100 Military Plaza, San Antonio, Texas, before 2:00 p.m., Monday, December 1, 2003. If no bid is selected by the City from the bids submitted before this date, bids may be accepted by the City for the property for a period of 24 months thereafter.



Map of Property A

Description/Location: Property A: NCB 11211 of E 603.8 FT of TR 2, 0 Moursund Blvd., Account No. 11211-000-0021, 1.535 acres (66,865 sf)

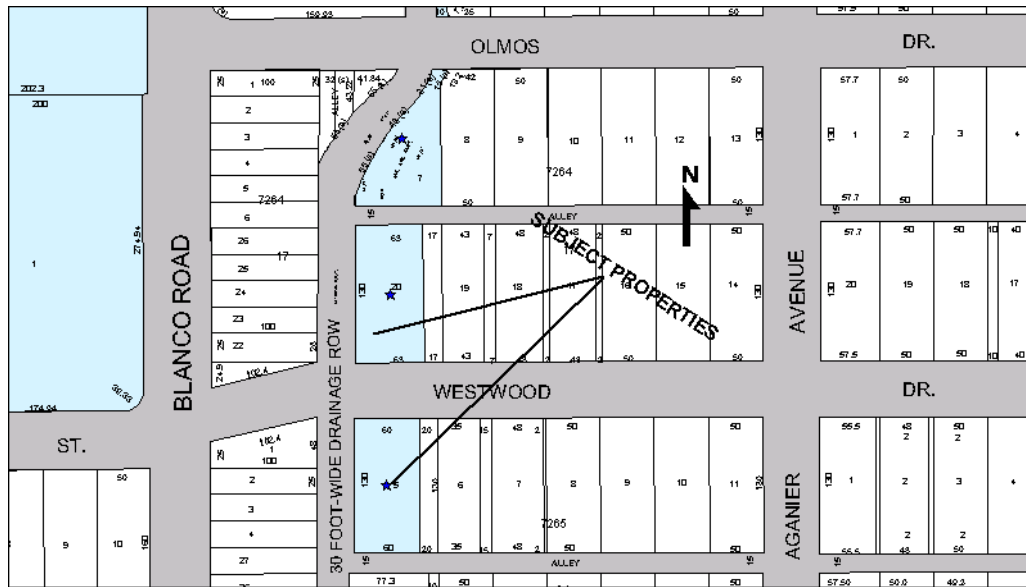
Current Zoning: C3R MAO-2

Conditions: SAN ANTONIO WATER SYSTEM: Purchaser must agree to reserve a perpetual easement for all existing water and/or water facilities and agrees to allow perpetual access to any such utilities for inspection, operational and maintenance purposes or may seek the relocation of the facilities with the express permission and coordination with the San Antonio Water System and at the sole expense of the purchaser.

TEXAS DEPARTMENT OF TRANSPORTATION: The purchaser must maintain an outfall for the Texas Department of Transportation's multi-box culvert.

PUBLIC WORKS DEPARTMENT: The eastern portion of the property has a large drainage area through it and must be retained as a Drainage Easement. If the purchaser wants to channelize the drainage to recoup some property, a drainage study consistent with the UDC is required. Storm Water Engineering must approve the study. Storm Water Operations must retain perpetual access to the Drainage Easement for maintenance purposes.

Estimated Value: Property A: \$8,943.00



Map of Properties B and C

Description/Location: Property B: (Property on the north side of Westwood Drive) NCB 7264, Block 17, Lot E 63 FT of W 68 FT of 20, 829 Westwood Drive, Account No. 07264-017-0082, .1866 acres (8,129 sf)

Property C: (Property on the south side of Westwood Drive) NCB 7265, Block 24, Lot E 60 FT of W 65 FT of 5, 826 Westwood Drive, Account No.07265-024-0050, .1791 acres (7,802 sf)

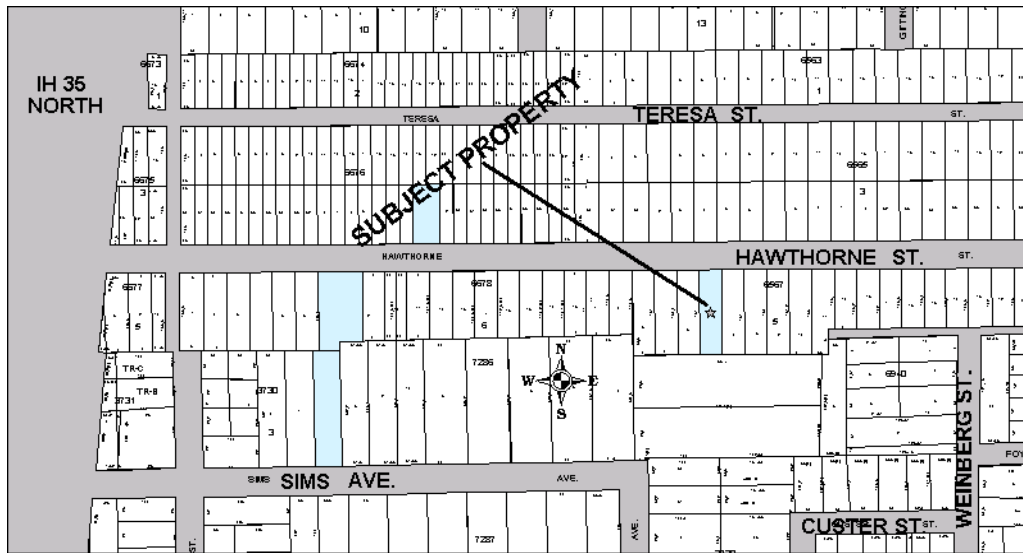
Current Zoning: R4

Conditions: SAN ANTONIO WATER SYSTEM: Purchaser must agree to reserve a perpetual easement for all existing water and/or water facilities and agrees to allow perpetual access to any such utilities for inspection, operational and maintenance purposes or may seek the relocation of the facilities with the express permission and coordination with the San Antonio Water System and at the sole expense of the purchaser.

CITY PUBLIC SERVICE: Easements must be retained for existing City Public Service overhead facilities.

PUBLIC WORKS DEPARTMENT: A 20-foot Drainage Easement must be retained on the west side of each property. With the proper zoning, surface parking may be permitted, however, purchaser would be responsible for the cost of replacement or repair to any surface improvements, if the City needed to excavate the property to gain access to the drainage facilities.

Estimated Value: Property B: \$9,213.00
Property C: \$8,777.00



Map of Property D

Description/Location: Property D: NCB 6567, Block 5, Lot 6, Account No. 06567-005-0060, .139 acres (6,046 sf)

Current Zoning: R6

Conditions: PUBLIC WORKS DEPARTMENT: A Drainage Easement must be retained for the entire property.

Estimated Value: Property D: \$7,694.00

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- B. Land and improvements will be sold in their respective “**AS IS WHERE IS WITH ALL FAULTS CONDITION**” subject to any and all conditions of record in the Official Public Records of Real Property of Bexar County, Texas and/or conditions set forth in the conveyance documents. City does not warranty against any defects in title and property will be conveyed by Deed Without Warranty. The property file may be viewed by scheduled appointment.
- C. Each bidder must complete and sign the attached BID FORM. A person authorized to bind the bidder to a legal document must sign the form. Each bidder may submit only one (1) signed original BID FORM per property and may bid on only one (1) property per BID FORM. All bid submissions will be the property of the City of San Antonio and are non-returnable. Bids must be complete and free from ambiguity. All bids submitted shall be valid for a period of not less than ninety (90) days. Bids must be submitted in a sealed envelope with the following information marked on the outside of the envelope: “**Invitation for Bid: Sale of Surplus Real Property**”.
- D. Bids may be mailed or hand-delivered to the City Clerk’s Office. Bids by facsimile transmission will not be accepted.

If mailed:

City Clerk’s Office
City of San Antonio
Post Office Box 839966
San Antonio, Texas 78283-3966

If hand-delivered:

City Clerk's Office
San Antonio City Hall
100 Military Plaza, Second Floor
San Antonio, Texas

- E. Any questions related to the IFB must be submitted in writing to:

Jesse Quesada, Special Projects Officer
Asset Management Department, Suite 201
114 W. Commerce (Mailing: P.O. Box 839966)
San Antonio, Texas 78283-3966
Telephone: (210) 207-6971
E-mail: jquesada@sanantonio.gov

- F. The City may select a bid deemed by the City to be in the City's best interest to include the highest and best use of the property, a desirable exchange of property, or the greatest bid amount. The bidder shall have ten (10) business days, unless specifically extended at the sole discretion of the City, from the date of such notification of selection to submit a cashier's check for the total amount of the bid for the subject property. Failure to submit a cashier's check for the total amount and/or an executed letter of agreement to all conditions may result in rejection of the bid, at which time the City may select the next bid deemed to be in the City's best interest or reject all bids.
- G. The City reserves the right to reject any or all bids, to waive any minor irregularities or technicalities and to accept any bid it deems to be in the City's best interest. The City further reserves the right to reject a bid if more than one bid is received from an individual/entity, and/or if it is found that collusion exists amongst bidders. Incomplete bid submittals may not be considered.
- H. Selection of successful bidder(s) is subject to the recommendation of the City of San Antonio Planning Commission and approval of the San Antonio City Council.

BID FORM

Property Description/Address: _____

Bid Amount: \$ _____

Proposed Use/Development: _____

The undersigned represents he/she is authorized to legally bind the bidder in this capacity:

Signature: _____

Signer's Name (printed or typed): _____

Signer's Title (printed or typed): _____

Firm Name (if applicable): _____

Address: _____

Telephone: _____ **Fax:** _____

E-Mail: _____